

**PB# 88-70**

**Linda Cummings**

**56-1-51**

Approved 8/9/89

# General Receipt

10790

**TOWN OF NEW WINDSOR**

555 Union Avenue  
New Windsor, N. Y. 12550

August 4, 1989

Received of Lindy Cummings \$ 592.00

Five Hundred Ninety-Two and 00/100 DOLLARS

For Planning Board fees #88-70 \$465.00 Engineer fees \$127.00

DISTRIBUTION

FUND	CODE	AMOUNT
CR #225		592.00

By Pauline H. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

# General Receipt

10243

**TOWN OF NEW WINDSOR**

555 Union Avenue  
New Windsor, N. Y. 12550

Dec. 14, 1988

Received of Lindy Cummings \$ 25.00

Twenty-five DOLLARS

For Planning Board App. Fee #88-70

DISTRIBUTION

FUND	CODE	AMOUNT
CR #368		25.00

By Pauline H. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

Received of Linda Cummings \$ 542.00

Five Hundred Forty-Two and 00/100 DOLLARS

For Planning Board Res #88-70 \$465.00 Engineer Fees \$127.00

DISTRIBUTION

FUND	CODE	AMOUNT
CR #235		592.00

By Pauline G. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

**TOWN OF NEW WINDSOR**  
555 Union Avenue  
New Windsor, N. Y. 12550

**General Receipt** 10243

Received of Linda Cummings \$ 25.00

Twenty-five DOLLARS

For Planning Board App. Fee #88-70

DISTRIBUTION

FUND	CODE	AMOUNT
CR #368		25.00

By Pauline G. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609

Planning Board  
Town Hall  
555 Union Ave.  
New Windsor, N.Y. 12550

NO. 88-70  
8-4 1989

RECEIVED FROM Linda Cummings

Five Hundred 00/100 DOLLARS

(500.00 Recreation Fee) (2 Lots)

Account Total \$ 500.00

Amount Paid \$ 500.00

Balance Due \$ -0-

Mary A. Mason, Secretary

THE EFFICIENTLINE AN AMPAS PRODUCT



#9713 88-705  
Map Number \_\_\_\_\_  
Section 56 Block 1 Lot 51 City New Windsor  
Town New Windsor  
Village New Windsor  
Title: Cummings, Subdiv.  
Dated: Nov. 20, 1988 Filed: Nov 13, 1989  
Approved by: McCarville, Daniel C.  
on: 11/2/89  
Record Owner: Linda Gail Cummings  
2 Sheets MARION S. MURPHY  
Orange County Clerk

County File No. NWT 10 89 N.  
**COUNTY PLANNING REFERRAL**  
(Mandatory County Planning Review under Article 12-B,  
Section 239, Paragraphs 1, m & n, of the  
General Municipal Law)  
Application of Linda Cummings  
for a Minor Subdivision - Within 500' of Town of Blooming Grove  
County Action: Local Determination

**LOCAL MUNICIPAL ACTION**  
The Above-cited application was:

Denied ..... Approved .....  
Approved subject to County recommendations

.....  
(Date of Local Action)

.....  
(Signature of Local Official)

This card must be returned to the Orange County Department of Planning  
within 7 days of local action.

CUMMINGS, LINDA  
subdivision

~~EMERGENCY SUBDIVISION~~ Ms. Linda Cummings came before the Board presenting her proposal.

BY MR. SCHIEFER: Original approval was when?

BY MS. CUMMINGS: August 9th. I had emergency surgery over the summer and was unable to keep up with the taxes. Now I have a buyer with both lots and I will be able to pay the taxes this coming week.

BY MR. SCHIEFER: You are looking for an extension of the approval?

BY MS. CUMMINGS: Right, and I will record it this coming week.

BY MR. VANLEEUEWEN: I don't see any problem. I make a motion that we grant an extension to the subdivision plan of property for Cummings, extension of approval six months.

BY MR. SCHIEFER: She is going to bring you plans in. She just made the comment.

BY MR. RONES: It is basically that subdivision plan being reapproved, that is all.

OCT 25 1900

55

BY MR. SCHIEFER: Motion to reapprove the Cummings subdivision.

BY MR. VANLEEUEWEN: So move.

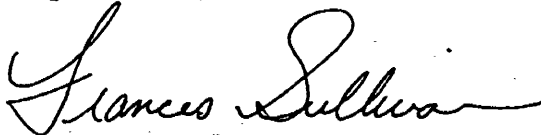
BY MR. LANDER: I will second that.

ROLL CALL:

McCarville:	Aye.
Pagano:	Aye.
VanLeeuwen	Aye.
Soukup:	Aye.
Lander:	Aye.
Schiefer:	Aye.

Being that there was no further business to come before the Board, a motion was made to adjourn the meeting by Mr. McCarville, seconded by Mr. Lander and approved by the Board.

Respectfully submitted,



Frances Sullivan,  
Stenographer

OCT 25 1900

# FILE HISTORY

DATE FILE OPENED: 12-15-88

PLANNING BOARD NUMBER 88-70

COPY OF PLANS GIVEN TO:

DATE

DATE RETURNED

MARK EDSALL  
FIRE INSPECTOR  
WATER DEPARTMENT  
HIGHWAY DEPARTMENT  
Sewer

12-16-88

12-16-88

12-16-88

12-16-88

12-16-88

12-29-88 Approved

12-20-88 Approved

REVISED PLANS:

MARK EDSALL  
FIRE INSPECTOR  
WATER DEPARTMENT  
HIGHWAY DEPARTMENT  
Sewer

4-18-88

4-18-88

4-18-88

4-18-88

4-18-88

4-19-88 Approved

AGENDA DATE:

RESULTS:

FEES:

DATE & AMOUNT PAID

Application fee

12-14-88 \$25.00

DATE PLANS APPROVED AND STAMPED BY TOWN OF NEW WINDSOR: 8-9-89

DATE PLANS PICKED UP BY APPLICANT: \_\_\_\_\_

NOTES: \_\_\_\_\_

Approved by board 5-10-89

CUMMINGS SUBDIVISION (88-70) TOLEMAN ROAD

Mr. Roger Ferris came before the Board representing this proposal.

Mr. Ferris: This is a three lot subdivision because of the balance of the property which is 48 acres, you asked that we submit it to the County Planning Department. I called them today and they said they corresponded on the 24th.

Mr. Schiefer: We have a letter from the County Planning Department returning for local determination so we have approval, essentially.

Mr. VanLeeuwen: I make a motion that we take lead agency.

Mr. Ronces: Mark, do your records reflect what SEQR action was taken on this.

Mr. Edsall: You took lead agency and at this time, you have not made a determination nor have you done anything about the public hearing.

Mr. VanLeeuwen: I make a motion that we declare a negative declaration and waive the public hearing with regard to Cummings Subdivision.

Mr. Pagano: I will second that motion.

ROLL CALL:

Mr. McCarville	Aye
Mr. VanLeeuwen	Aye
Mr. Soukup	Aye
Mr. Pagano	Aye
Mr. Lander	Aye
Mr. Jones	Aye
Mr. Schiefer	Aye

Mr. VanLeeuwen: There's one thing you don't show is the setback.

Mr. Ferris: I show the line here.

Mr. VanLeeuwen: I'm sorry. I make a motion that we approve the Cummings Subdivision (88-70) Toleman Road.

Mr. Jones: I will second that motion.

ROLL CALL:

Mr. McCarville	Aye
Mr. VanLeeuwen	Aye
Mr. Pagano	Aye
Mr. Soukup	Aye
Mr. Lander	Aye
Mr. Jones	Aye
Mr. Schiefer	Aye



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

45 QUASSAICK AVE. (ROUTE 9W)  
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640  
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.

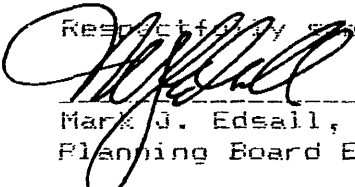
Licensed in New York,  
New Jersey and Pennsylvania

**TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS**

PROJECT NAME: Cummings Subdivision  
PROJECT LOCATION: Toleman Road  
PROJECT NUMBER: 88-70  
DATE: 10 May 1989

1. The Applicants have submitted a plan for review for the minor subdivision of 48.4 +/- acre parcel into three (3) single-family residential lots. The plan was previously reviewed at the 12 April 1989 Planning Board Meeting.
2. The Applicant has responded to each of the previous comments in my comment sheet dated 12 April 1989.
3. The Planning Board should determine if a Public Hearing will be necessary for this minor subdivision, or if same can be waived per Paragraph 4.B of the Subdivision Regulations.
4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.
5. It should be noted that the Applicant had submitted the plan to the Orange County Department of Planning and, by letter dated 24 April 1989, they returned this application for "local action".
- a. At this time, I am aware of no reason why the plan could not receive final subdivision approval, from an engineering standpoint.

Respectfully submitted,

  
\_\_\_\_\_  
Mark J. Edsall, P.E.  
Planning Board Engineer

cummings



Louis Holmbeck  
County Executive

Department of Planning  
& Development

124 Main Street  
Goshen, New York 10924  
(914) 294-5151

Peter Garrison, Commissioner  
Richard S. DeTork, Deputy Commissioner

ORANGE COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT  
239 L, M or N Report

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and Countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by Town of New Windsor Planning Bd. D P & D Reference No. WLOT 10-89N

By ROGER J. FERRIS

County I.D. No. 561 1 151

Applicant LINDA CUMMINGS

Proposed Action: MINOR SUBDIVISION

State, County, Inter-Municipal Basis for 239 Review CERTAIN 500' of T. of BLAIRMING GROVE

Comments:

Related Reviews and Permits

T. of BLAIRMING GROVE PLANNING BOARD

County Action: Local Determination ☒ Disapproved ☐ Approved ☐

Approved subject to the following modifications and/or conditions:

APRIL 24, 1989

Date

Peter Garrison  
Commissioner

CUMMINGS - SUBDIVISION (88-70) TOLEMAN ROAD

Mr. Robert Ferris came before the Board representing this proposal.

Mr. Ferris: What Miss Cummings would like to do is break these two lots off. Both lots are in excess of the zoning. The small lot is 1.5 and the other one is 2.6 acres in size. On the existing road front, the rear line would be on the existing town line between New Windsor and Blooming Grove.

Mr. Soukup: Miss Cummings doesn't own land in Blooming Grove.

Mr. Ferris: No. The perc rates are on the second sheet. We ran two tests.

Mr. VanLeeuwen: I don't see to many problems with this.

Mr. Pagano: Have you seen the eqineer's comments?

Mr. Ferris: No, I have not.

Mr. VanLeeuwen: This has to be sent to the Town of Blooming Grove because it is on the Town of Blooming Grove line.

Mr. Ronas: Being on the Town of Blooming Grove line doesn't give them any review over this. It just requires that the, that before we approve it, that this has to--the completed application has to be reviewed by the Orange County Planning Department.

Mr. Ferris: Can I request that the SEQR process begin and the Planning Department requires plans to be submitted by the town for their review, if I understand the procedures.

Mr. VanLeeuwen: I'd like to make a motion that we declare the Planning Board of the Town of New Windsor lead agency with regard to Cummings Subdivision 88-70.

Mr. McCarville: I will second that motion.

ROLL CALL:

Mr. Jones	Aye
Mr. Soukup	Aye
Mr. McCarville	Aye
Mr. VanLeeuwen	Aye
Mr. Pagano	Aye

Mr. Soukup: Before we go further, has a long form environmental assessment form been submitted.

Mr. Edsall: We have a short form EAF but I would think before you took SEQR action, you'd want to see if the County Planning has any response.



Mr. VanLeeuwen: I think we should send it to the County Planning Department first.

Mr. Rones: But, in the meanwhile the application can be reviewed by the Orange County Planning Department and they have got 30 days to give us their response.

Mr. Ferris: Can I request that this be placed back on the agenda.

Mr. Pagano: Until it comes back from Orange County, they have to determine whether it can be placed on.

Mr. Ferris: We can set a date after the 30 day period.

Mr. VanLeeuwen: As soon as we get it back, we will.

Mr. Rones: We don't set up an agenda at this meeting. It will appear, it will be rescheduled for some future agenda but we don't establish that at this meeting.

Mr. Babcock: Could you make the applicant aware that the town is not responsible for sending the plan to the Orange County Department, that the applicant would be responsible.

Mr. Ferris: I was under the impression, okay, it is County Highway Department that requires.

Mr. Edsall: I'd send it certified mail so you have a return receipt. I think two copies would be more than enough.

**INTER-OFFICE CORRESPONDENCE**

**TO:** Town Planning Board

**FROM:** Town Fire Inspector

**DATE:** 24 April 1989

**SUBJECT:** Cummings Subdivision

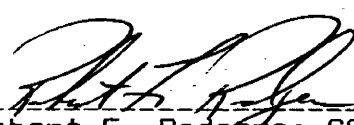
PLANNING BOARD REFERENCE NUMBER: 88-70

FIRE PREVENTION REFERENCE NUMBER: FPS-89-31

A review of the above referenced subject site plan/ sub-division was conducted on 24 April 1989.

This site plan is found acceptable.

PLAN DATED: 13 April 1989; Revision 1

  
-----  
Robert F. Rodgers; CCA  
Fire Inspector

CC: M.E.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,  
D.O.T., O.C.H., O.C.P., D.P.W., XXXXXX, SEWER, HIGHWAY, REVIEW  
FORM:

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

Roy J. Ellis for the building or subdivision of

Cummings has been

reviewed by me and is approved ☒

disapproved ☒

If disapproved, please list reason \_\_\_\_\_

There is no town water in this area.

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

John B. Davis  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 28 December 1988

SUBJECT: Cummings Subdivision

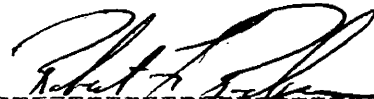
PLANNING BOARD REFERENCE NUMBER: 88 - 70

FIRE PREVENTION REFERENCE NUMBER: 88 - 120

A review of the above referenced subject site plan/ sub-  
division was conducted on 28 December 19 88.

This site plan was previously disapproved under the Fire  
Prevention Reference number(s) of N. A.

This site plan is found acceptable.



Robert F. Rodgers; CCA  
Fire Inspector

CC:M.E.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,  
D.O.T., O.C.H., O.C.P., D.P.W., XXXXXX, SEWER, HIGHWAY, REVIEW  
FORM:

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

Roger J. Ferris for the building or subdivision of  
Cummings has been

reviewed by me and is approved L

~~disapproved~~ \_\_\_\_\_

~~If disapproved, please list reason~~ \_\_\_\_\_

There is no town water in this area

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

Steve D. D.  
WATER SUPERINTENDENT

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE

Planning Board  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12550

(Page 1 of 2)

Date Received \_\_\_\_\_  
Meeting Date \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Action Date \_\_\_\_\_  
Fees Paid \_\_\_\_\_

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,  
OR LOT LINE CHANGE APPROVAL

1. Name of Project SUBDIVISION PLAN OF PROPERTY FOR CUMMING
2. Name of Applicant LINDA CUMMINGS Phone 496-9273  
Address BOX 118 TOLEMAN ROAD WASHINGTONVILLE, N.Y. 10992  
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record SAME Phone \_\_\_\_\_  
Address \_\_\_\_\_  
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan ROGER FERRIS\* Phone 343-2511  
Address 200 MIDWAY PARK MIDDLETOWN, N.Y. 10940  
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney N.A. Phone \_\_\_\_\_  
Address \_\_\_\_\_  
(Street No. & Name) (Post Office) (State) (Zip)
6. Location: On the EAST side of TOLEMAN ROAD  
ADJACENT TO feet AND NORTHERLY OF THE BLOOMINGGROVE  
of TOWN LINE (Street)  
(Direction)
7. Acreage of Parcel 48.9 8. Zoning District R-4
9. Tax Map Designation: Section 56 Block 1 Lot 51
10. This application is for 3 LOT SUBDIVISION
11. Has the Zoning Board of Appeals granted any variance or a special permit concerning this property? NO

If so, list Case No. and Name \_\_\_\_\_  
\_\_\_\_\_

12. List all contiguous holdings in the same ownership  
Section NONE Block \_\_\_\_\_ Lot(s) \_\_\_\_\_

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT  
(Completion required ONLY if applicable) \_\_\_\_\_

COUNTY OF ORANGE  
SS.:  
STATE OF NEW YORK

\_\_\_\_\_ being duly sworn, deposes and says  
that he resides at \_\_\_\_\_  
in the County of \_\_\_\_\_ and State of \_\_\_\_\_  
and that he is (the owner in fee) of \_\_\_\_\_  
(Official Title)  
of the Corporation which is the Owner in fee of the premises  
described in the foregoing application and that he has authorized  
\_\_\_\_\_ to make the foregoing  
application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND  
INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE  
SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this \_\_\_\_\_

Linda Cummins  
(Owner's Signature)

12 day of DECEMBER 1988

(Applicant's Signature)

Scott D. Buchholz  
Notary Public

Owner  
(Title)

SCOTT D. BUCHHOLZ  
Notary Public, State of New York  
Qualified in Orange County Reg. No. 4936094  
My Commission Expires July 5, 1990

TOWN OF NEW WINDSOR PLANNING BOARD

MINOR SUBDIVISION CHECKLIST

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. ☒ Environmental Assessment Statement
- \*2. ☒ Proxy Statement
3. ☒ Application Fees
4. ☒ Completed Checklist

II. The following checklist items shall be incorporated on the Subdivision Plat prior to consideration of being placed on the Planning Board Agenda.

1. ☒ Name and address of Applicant.
- \*2. ☒ Name and address of Owner.
3. ☒ Subdivision name and location.
4. ☒ Tax Map Data (Section-Block-Lot).
5. ☒ Location Map at a scale of 1" = 2,000 ft.
6. ☒ Zoning table showing what is required in the particular zone and what applicant is proposing.
7. MAP N.A. Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
8. ☒ Date of plat preparation and/or date of any plat revisions.
9. ☒ Scale the plat is drawn to and North Arrow.
10. ☒ Designation (in title) if submitted as Sketch Plan, Preliminary Plan or Final Plan.
11. ☒ Surveyor's certification.
12. ☒ Surveyor's seal and signature.

\*If applicable.



13. ☒ Name of adjoining owners.
14. ☒ Wetlands and 100 foot buffer zone with an appropriate note regarding D.E.C. requirements.
- \*15. ☐ Flood land boundaries.
16. ☒ A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.
17. ☒ Final metes and bounds.
18. ☒ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical centerline of the street.
19. ☒ Include existing or proposed easements.
20. ☒ Right-of-Way widths.
21. ☐ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
22. ☒ Lot area (in square feet for each lot less than 2 acres).
23. ☒ Number the lots including residual lot.
24. ☒ Show any existing waterways.
- \*25. ☐ A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
26. ☐ Applicable note pertaining to owners' review and concurrence with plat together with owners' signature.
27. ☒ Show any existing or proposed improvements, i.e., drainage systems, waterlines, sewerlines, etc. (including location, size and depths).
28. ☒ Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.

\*If applicable.

29. ✓ Show all and proposed on-site "septic" system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
30. ✓ Provide "septic" system design notes as required by the Town of New Windsor.
31. ✓ Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
32. NA. Indicate percentage and direction of grade.
33. ✓ Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
34. ✓ Provide 4" wide x 2" high box in area of title block (preferably lower right corner) for use by Planning Board in affixing Stamp of Approval.
35. NA. Indicate location of street or area lighting (if required).

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

**PREPARER'S ACKNOWLEDGEMENT:**

The plat for the proposed subdivision has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: *Reginald F.*  
Licensed Professional

Date: 12/1/88

PROJECT I.D. NUMBER

617.21

SEQR

## Appendix C

State Environmental Quality Review

## SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

## PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <i>LINDA CUMMINGS</i>	2. PROJECT NAME <i>SUBDIVISION PLAN OF PROPERTY FOR CUMMINGS</i>
3. PROJECT LOCATION: Municipality <i>TOWN OF NEW WINDSOR</i> County <i>ORANGE</i>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <i>EAST SIDE OF TOLEMAN ROAD JUST NORTH OF THE TOWN LINE BETWEEN NEW WINDSOR AND BLOOMING GROVE</i>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <i>RESIDENTIAL SUBDIVISION OF TWO NEW HOME SITES FOR ONE FAMILY HOMES</i>	
7. AMOUNT OF LAND AFFECTED: Initially <i>48</i> acres Ultimately <i>48</i> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: <i>MOSTLY RESIDENTIAL HOUSES</i>	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <i>LINDA CUMMINGS</i>	Date: <i>12/12/88</i>
Signature: <i>Linda Cummings</i>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

**PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 8 NYCRR, PART 817.12? If yes, coordinate the review process and use the FULL EAF.	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 8 NYCRR, PART 817.8? If No, a negative declaration may be superseded by another involved agency.	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
NO	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
NO	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
NO	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
NO	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
NO	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.	
NONE	
C7. Other Impacts (including changes in use of either quantity or type of energy)? Explain briefly.	
NONE	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No If Yes, explain briefly

**PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural), (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which <b>MAY</b> occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action <b>WILL NOT</b> result in any significant adverse environmental impacts <b>AND</b> provide on attachments as necessary, the reasons supporting this determination:	
Name of Lead Agency	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from responsible officer)
Date	

PROXY STATEMENT

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

LINDA CUMMINGS, deposes and says that she  
resides at BOX 118 TOLEMAN ROAD WASHINGTONVILLE  
(Owner's Address)

in the County of ORANGE

and State of NEW YORK

and that he is the owner in fee of SECTION 56 BLOCK 1 LOT 51  
DRED LIBER 2198 PAGE 695

which is the premises described in the foregoing application and  
that he has authorized ROGER J. FERRIS ENGINEERING AND LAND SURVEYING, P.C.  
to make the foregoing application as described therein.

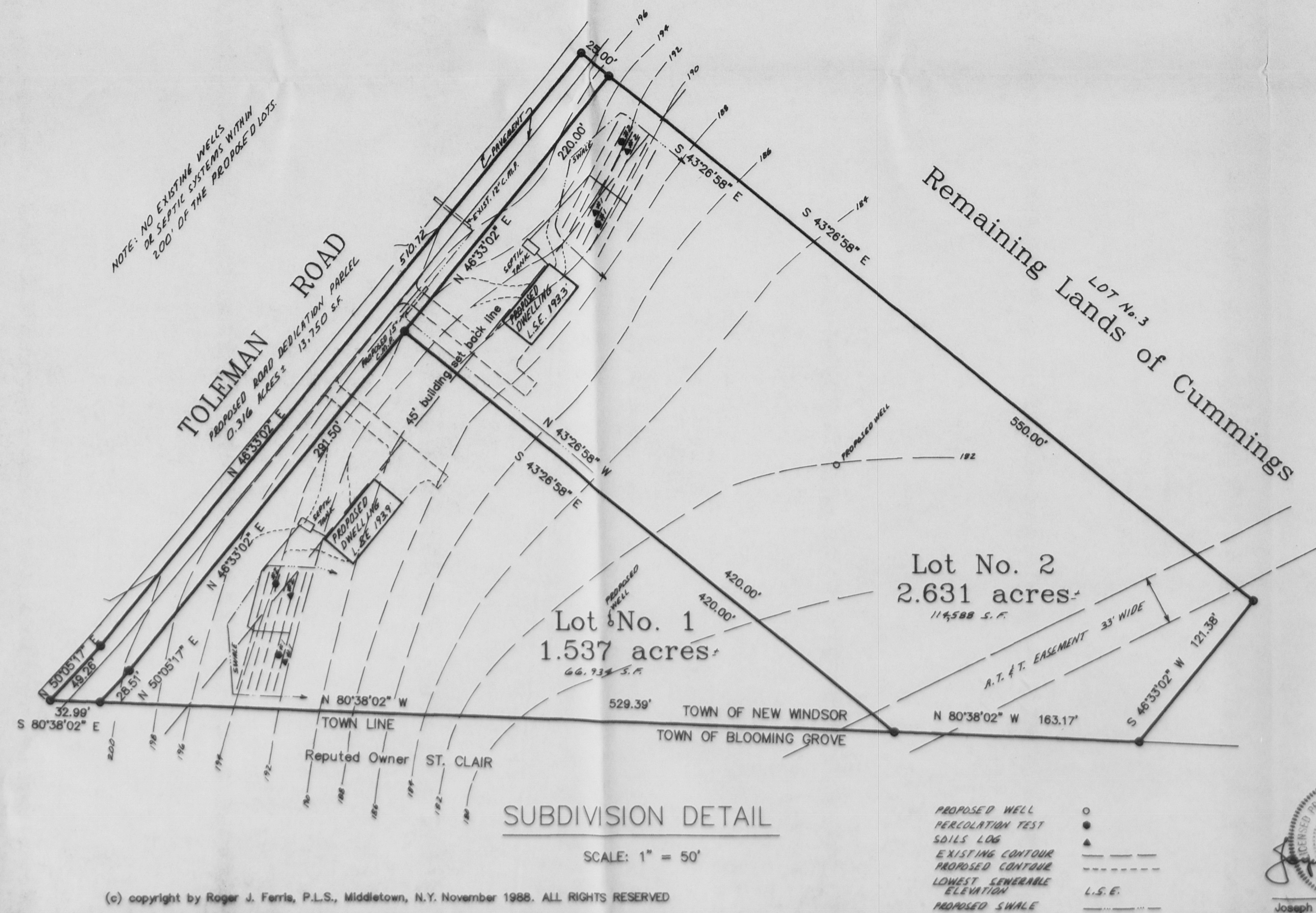
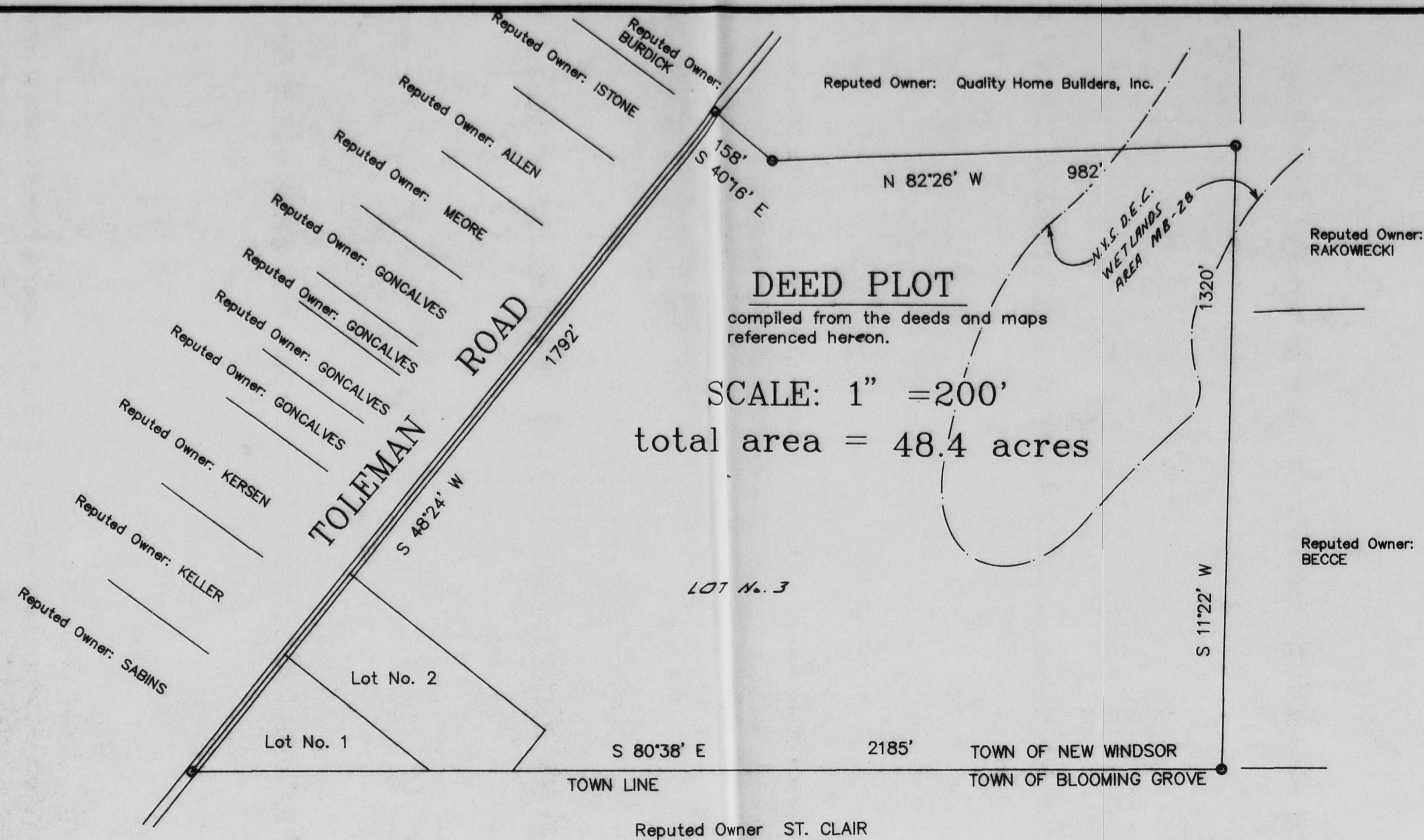
Date: 12/12/88

X Linda Cummings  
(Owner's Signature)

Scott Buchholz  
(Witness' Signature)

SCOTT D. BUCHHOLZ  
Notary Public, State of New York  
Qualified in Orange County Reg. No. 4936094  
My Commission Expires July 5, 1990





#### REFERENCES:

Map entitled "Survey of Property For St. Clair, Town of Blooming Grove, Orange County, New York and dated September 9, 1987.  
Map entitled "Subdivision Lands of F. Buting for Quality Home Builders, Inc." and filed in the Orange County Clerk's Office on Feb. 17, 1987 as map number 8016

Deed Liber 2198 Page 695

#### Tax Map:

Section 56  
Block 1  
Lot 51

#### ZONING DATA:

Zoning R-3  
min. lot width 125'  
min. front yard 45'  
min. side yard 20'  
min. rear yard 50'  
min. lot area 43,560 sf.  
MIN. BOTH SIDE YARDS 40'  
MIN. ROAD FRONTAGE 70'  
MIN. BUILDING HEIGHT 35'

MIN. LIVABLE AREA 1200 S.F.  
MAX. DEVELOPMENT COVERAGE 10%

#### SANITARY NOTES:

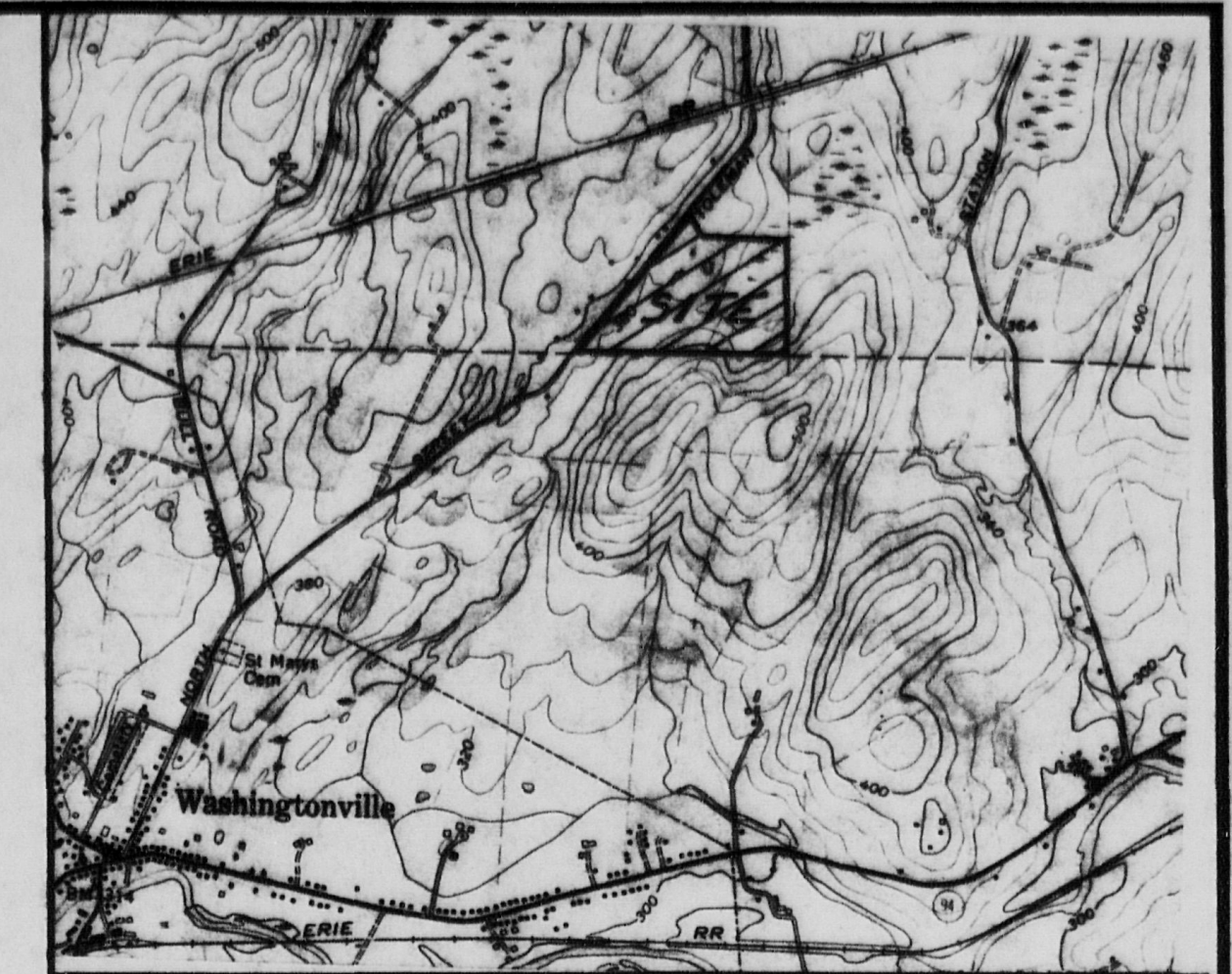
1. All sanitary disposal systems shall be designed and constructed in accordance with New York State Department of Health Standards and the provisions of the Public Health Law.
2. All sanitary sewage disposal systems shall be designed by a New York State licensed Design Professional and approved by the Town of New Windsor Building Inspector prior to the issuance of a building permit. The system shall be inspected during construction and certified as to conformance to design by the Design Professional prior to issuance of a Certificate of Occupancy.

#### RECORD OWNER AND SUBDIVIDER:

Linda Cummings  
Box 118 Toleman Road  
Washingtonville, New York 10992

#### GENERAL NOTES:

1. Total number of lots. 3
2. Contour interval 2' field located on November 9, 1988. Datum assumed.
3. Wetlands shown from a map entitled "N.Y.S. Freshwater Wetlands Map" Orange County Map 13 of 26. Wetlands number MB-28.



#### LOCATION PLAN

SCALE: 1" = 2000'

#### GENERAL NOTES:

Subject to an accurate title search.

Subject to any unwritten and/or written licences, easements, restrictions, and/or agreements.

Offsets shown hereon are for informational purposes only and are not to be used for construction purposes.

SUBDIVISION	APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD	
ON 11/16/89	
BY Daniel C. McCarville	
DANIEL C. MCCARVILLE	
SECRETARY	

APPROVAL BLOCK

## FINAL PLAN

### SUBDIVISION PLAN OF PROPERTY FOR CUMMINGS

#### TOWN OF NEW WINDSOR ORANGE COUNTY - NEW YORK

SCALE: AS SHOWN  
NOVEMBER 20, 1988  
REV 13 APRIL 1989

SHEET 1 OF 2

This report is made solely to the following parties:

LINDA CUMMINGS  
TOWN OF NEW WINDSOR

I report that this survey was performed in the field by myself or under my direct supervision and control; that the information contained in this survey is true and accurate to the best of my knowledge and belief and is based on data contained in deeds or maps of record listed hereon and/or evidence found in the field; and that there are no surface encroachments except as shown hereon. FIELD SURVEY WAS FOR LOTS 1 AND 2 AND COMPLETED ON NOVEMBER 20, 1988. This report is not transferable to additional institutions, their successors and/or assigns or subsequent owners.

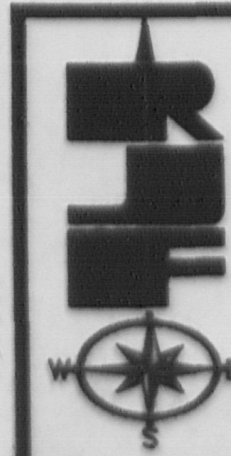
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW. Copies of this survey map not bearing the Land Surveyor's seal shall not be considered to be a valid true copy. Certifications indicated herein shall only be in the person for whom the survey is prepared, and no one bound to the title, contrary, environmental agency and having institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.



Joseph E. Silber, P.E. N.Y.S. Lic. No. 38072

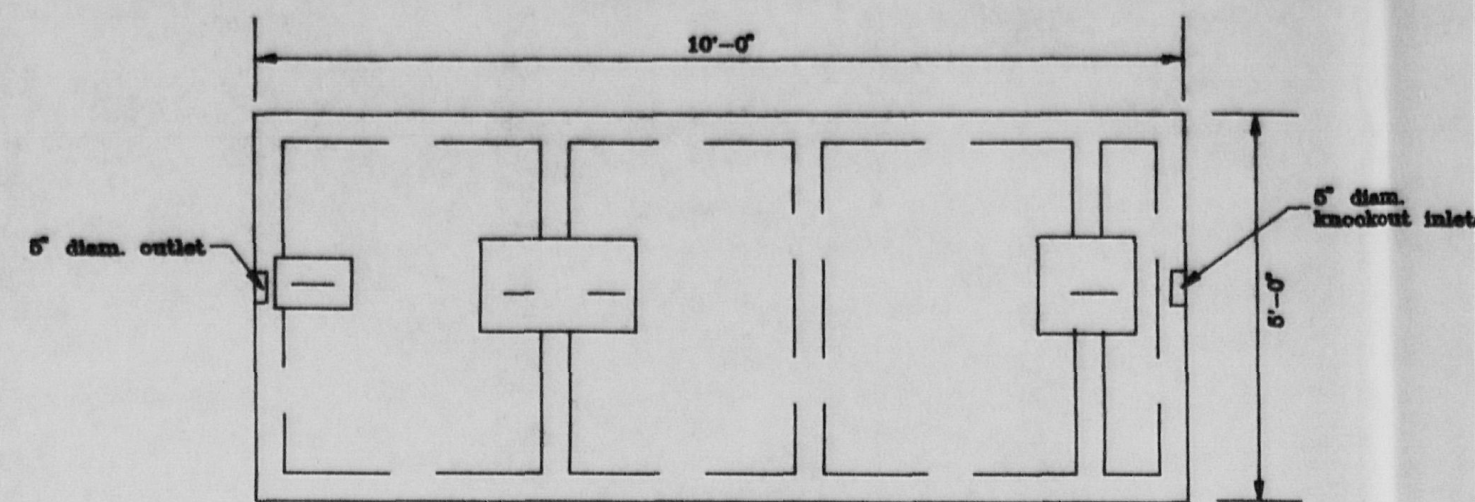
Roger J. Ferris, P.L.S.

N.Y.S. Lic. No. 49393

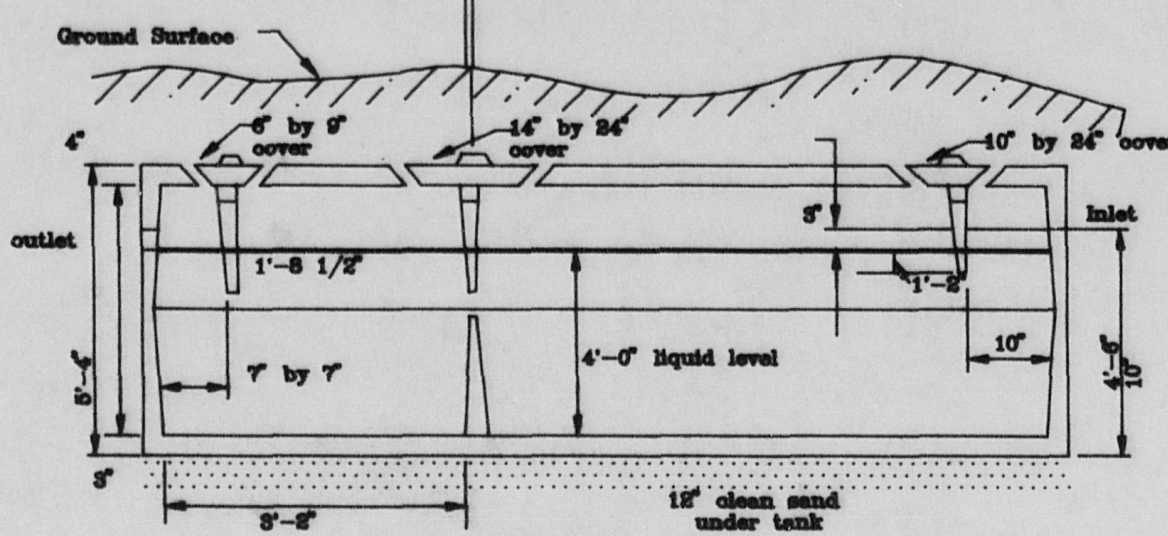


**ROGER J. FERRIS**  
Engineering and  
Land Surveying, P.C.  
200 Midway Park Drive  
Middletown, New York 10940  
tel.: (914) 343-2511





Plan View



Section View

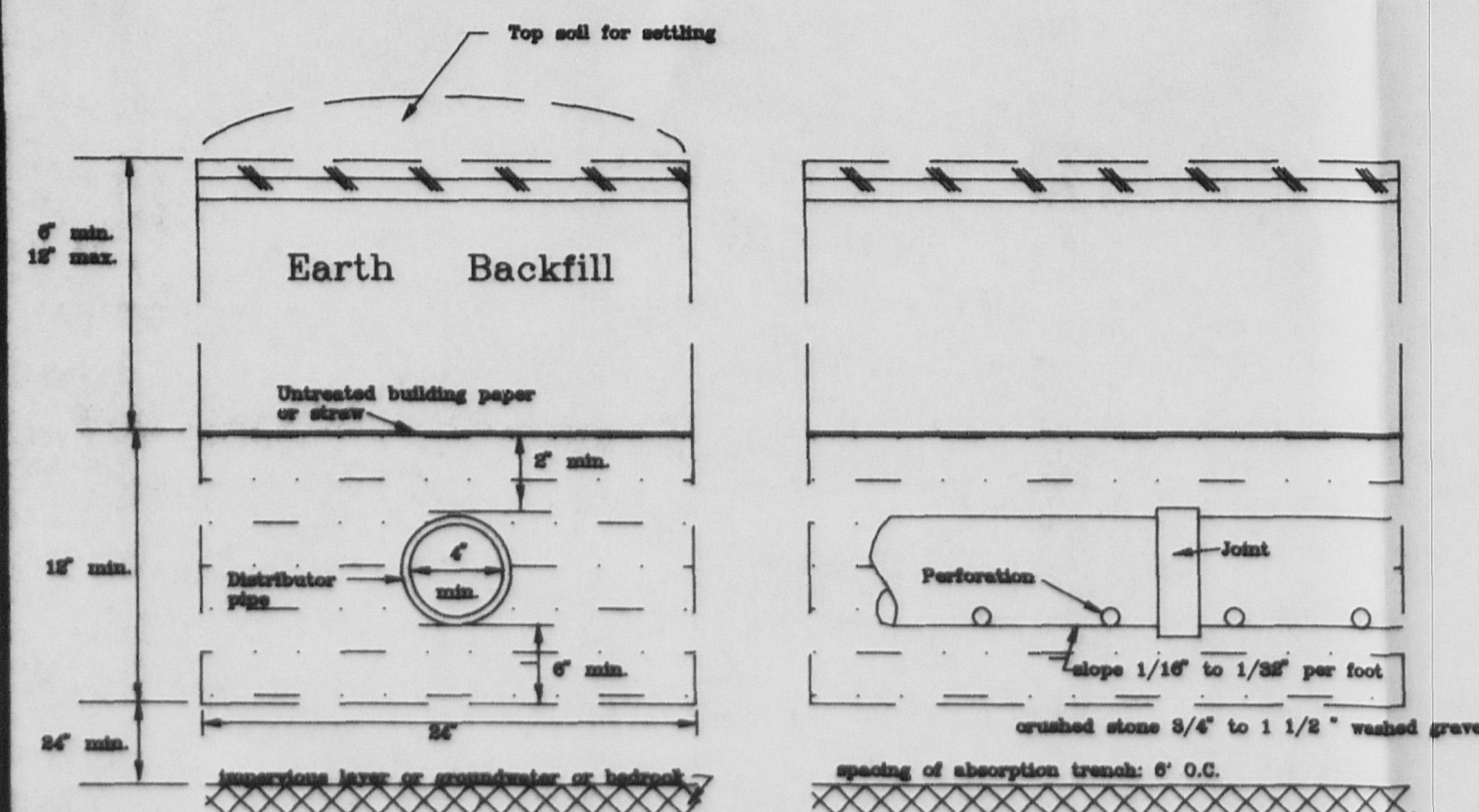
#### SPECIFICATIONS:

- concrete minimum strength: 4,000 P.S.I. at 28 days
- steel reinforcement: 6" by 6" by 10 ga. steel wire mesh
- construction joint: sealed with asphalt cement or equivalent

Woodard's Concrete Products, pre cast septic tank,  
Model No. ST 1250, 1250 gallons

#### SEPTIC TANK DETAILS

(not to scale)

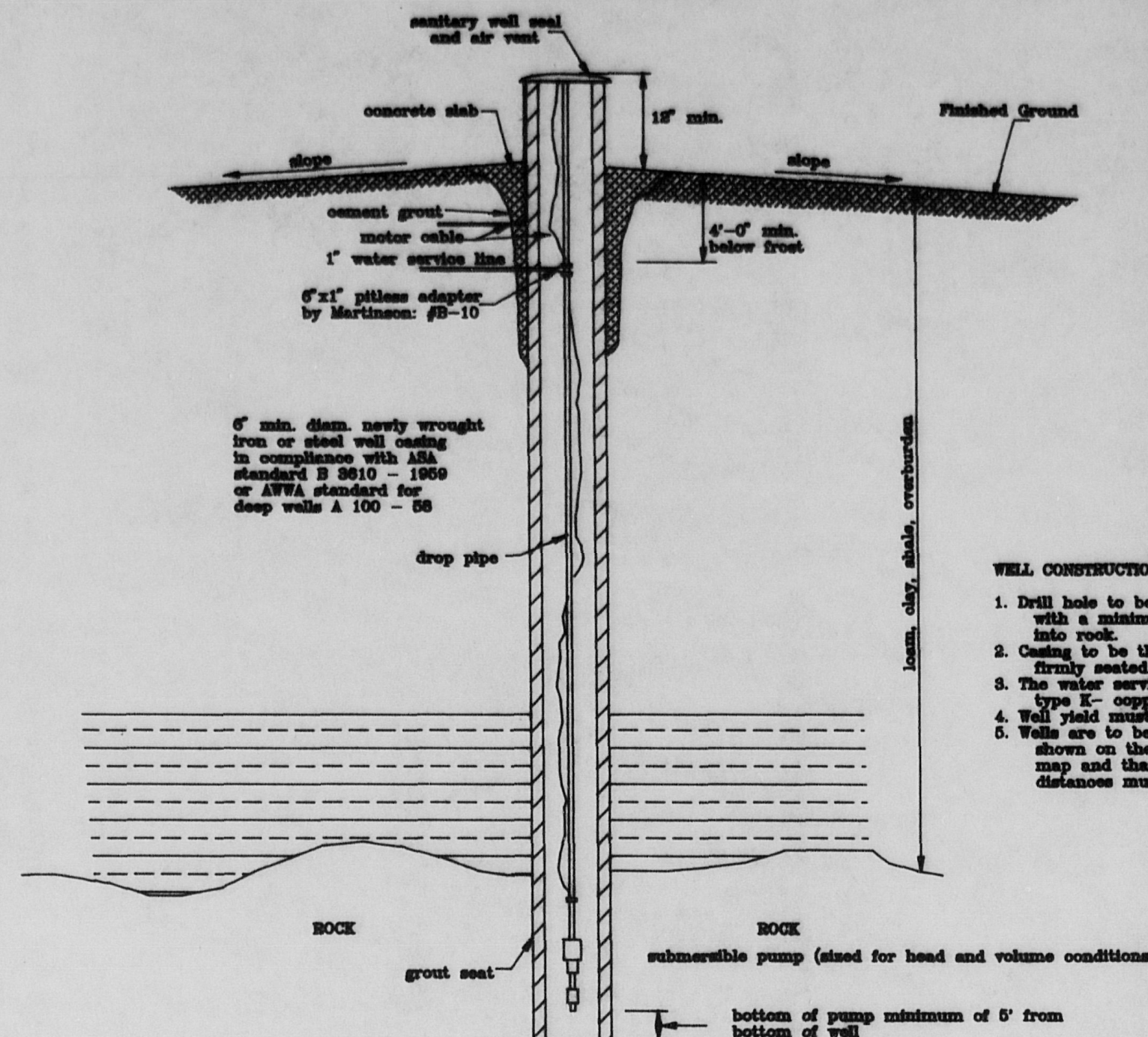


#### ABSORPTION TRENCH

not to scale

#### NOTES:

1. Do not install trenches in wet soil.
2. Rake sides and bottom of trench prior to placing gravel.
3. Ends of all distributor pipes must be plugged unless interconnected.

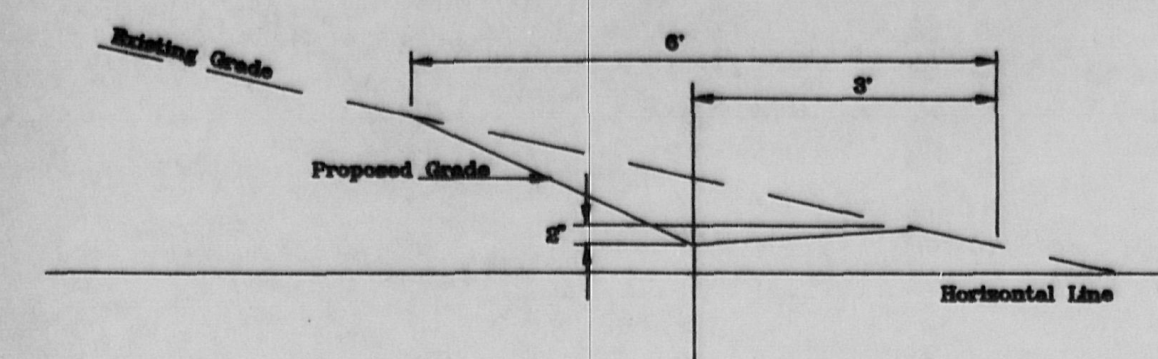


#### WELL DETAILS

(not to scale)

#### WELL CONSTRUCTION STANDARDS:

1. Drill hole to be casing size plus 4" with a minimum of 30' of grouting into rock.
2. Casing to be through overburden and firmly seated in rock.
3. The water service lines shall be type K- copper.
4. Well yield must be at least 5 G.P.M. minimum.
5. Wells are to be installed in the locations shown on the approved subdivision map and that minimum separation distances must be strictly adhered to.



#### SWALE DETAIL

not to scale

#### SEPTIC SYSTEM NOTES:

1. All septic systems are to be located at least 100' from streams and at least 50' from drainage easements.
2. No more than one single family dwelling per lot.
3. No driveways or parking areas will be located over the septic system.
4. All trees to be out and removed from the sewage disposal area in a manner that will not disturb the virgin soil.
5. No roof, cellar, or footing drains are to be discharged into the sewage disposal area or towards the well.
6. Use water saving devices on all water fixtures.
7. Septic tanks shall be pre-cast concrete; shall be Woodard's Concrete Products or an approved equal.
8. Sewage disposal systems must be designed by, laid out in the field, supervised and inspected during construction and certified as complete in accordance with approved plan and New York State standards by a N.Y.S. Licensed Professional Engineer.
9. No garbage grinders are to be installed.
10. No grading cuts are to be made in the areas of the disposal systems.

#### SEWAGE DISPOSAL DESIGN CRITERIA

Lot No.	Depth of Perc. Hole	Recorded Perc. Rate	Design Perc. Rate	Design Minimum Trench Length		
				2 bedroom	3 bedroom	4 bedroom
1	26"	3 min.	15 min.	200 L.F.	300 L.F.	400 L.F.
2	26"	4 min.	30 min.	250 L.F.	375 L.F.	500 L.F.

Percolation and deep soils tests were done on October 20, 1988

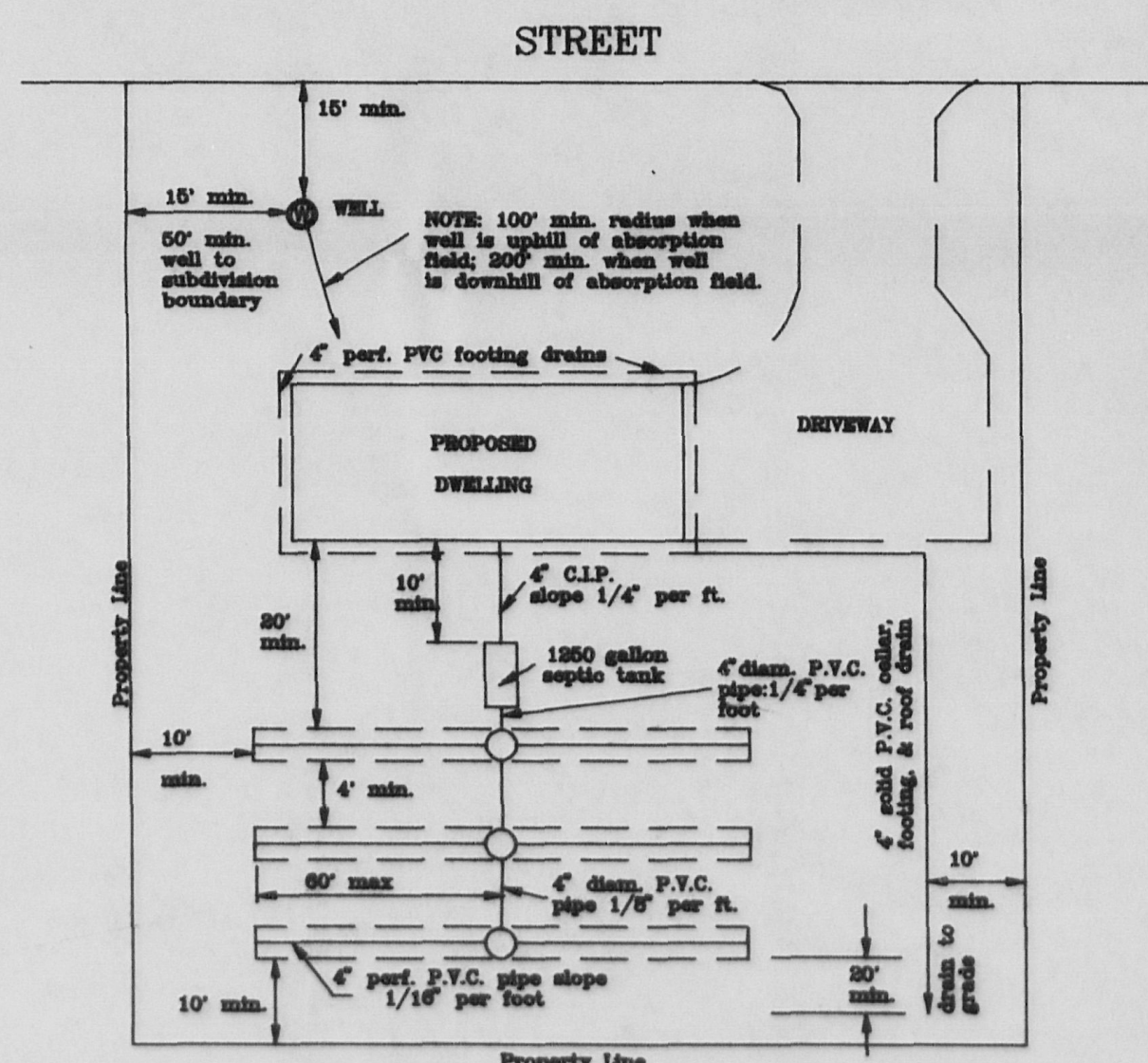
#### SOILS LOGS

Lot No. 1 Hole No. 1  
0" - 12" Top Soil  
12" - 5'6" coarse loam  
5'6" - 7'6" loam  
no groundwater  
no rock

Lot No. 1 Hole No. 2  
0" - 12" top soil  
12" - 5'0" loam  
5'0" - 6'0" coarse loam  
6'0" - 8'0" loam  
7'0" groundwater  
no rock

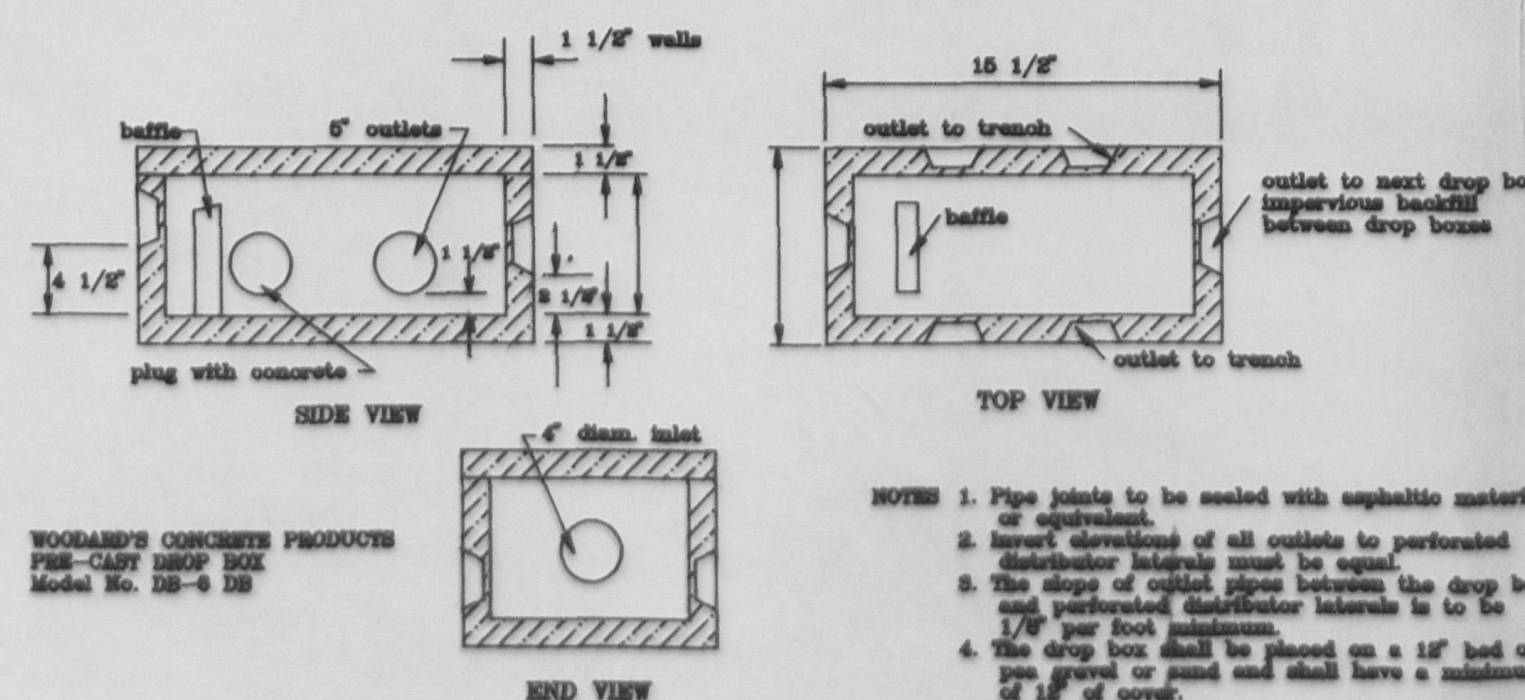
Lot No. 2 Hole No. 1  
0" - 12" top soil  
12" - 4'0" loam  
4'0" - 6'6" sandy loam  
6'6" - 8'0" silt loam  
no groundwater  
no rock

Lot No. 2 Hole No. 2  
0" - 12" top soil  
12" - 3'6" loam  
3'6" - 6'0" sandy loam  
6'0" - 8'0" silt loam trace of clay  
no groundwater  
no rock



#### TYPICAL LOT LAYOUT

not to scale



#### DROP BOX DETAIL

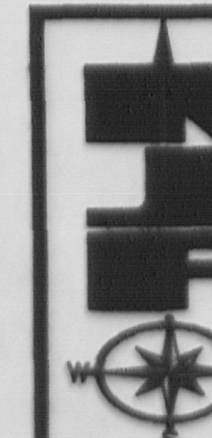
not to scale

- NOTES:
1. Pipe joints to be sealed with asphaltic material or equivalent.
  2. Invert elevations of all outlets to perforated distributor inlets must be equal.
  3. The slope of outlet pipes between the drop box and perforated distributor inlets is to be 1/8" per foot minimum.
  4. The drop box shall be placed on a 12" bed of pea gravel or sand and shall have a minimum of 12" of cover.
  5. All unused holes in drop boxes are to be plugged.

## CONSTRUCTION DETAILS SUBDIVISION PLAN OF PROPERTY FOR CUMMINGS

TOWN OF NEW WINDSOR  
ORANGE COUNTY - NEW YORK  
SCALE: AS SHOWN  
NOVEMBER 20, 1988  
REV. 13 APRIL 1987

SHEET 2 OF 2



**ROGER J. FERRIS**  
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